

## **VILLAGE/MIXED USE ELEMENT**

### **INTRODUCTION**

This Element builds upon City Council adopted policies set forth in the City of San Diego General Plan. A series of policies are established in the General Plan that set the framework for growth and new development within existing neighborhoods to be designed with a mixture of land uses that promote increased housing opportunities, walkability, social interaction, and a sense of place. This Element provides guidelines for implementation of the General Plan policies by setting a framework for new village-type infill development in the Southeastern San Diego community.

The integration of commercial and residential uses is emphasized in villages and civic uses are also an important component. Uses such as, and similar to, retail, professional/administrative offices, commercial recreation facilities, and service businesses are allowed in villages. Areas where village-type development is designated within the Southeastern San Diego community enhance and create high quality, interactive urban neighborhoods by allowing for the development of well-planned, suitable, and appropriate mixed-use developments. The village-type developments support transit use, reduce dependence on the automobile, establish a pedestrian-friendly orientation, and offer flexibility for redevelopment opportunities while maintaining community character and providing a range of housing opportunities. Mixed use refers to the combining of compatible commercial, retail, and/or office uses in the same building (vertical mixed use) or on the same site (horizontal mixed use) as residential. This includes higher density residential development to serve many market segments, along with a mix of commercial, retail, civic, and recreational uses to serve the overall community.

The community of Southeastern San Diego has benefited from redevelopment within the area, including the establishment of quality single-family neighborhoods and increased shopping and employment opportunities. However, parts of the community, in particular areas located east of I-805 along Market Street and Imperial Avenue, remain in need of enhancement. These areas currently include commercial and industrial development that is aging and not well sustained by the surrounding community. These major areas identified as being in need of reinvestment and redevelopment are non-contiguous and cover specific sites near Market Street, Imperial Avenue and Euclid Avenue, east of I-805. Thus, the Community Plan Implementation Overlay Zone (CPIOZ) is necessary to accomplish the vision within this portion of the Southeastern San Diego community. This Village/Mixed Use Element defines the vision, the design standards to implement that vision, and the development review process for new development within the Southeastern San Diego (SESD) CPIOZ.

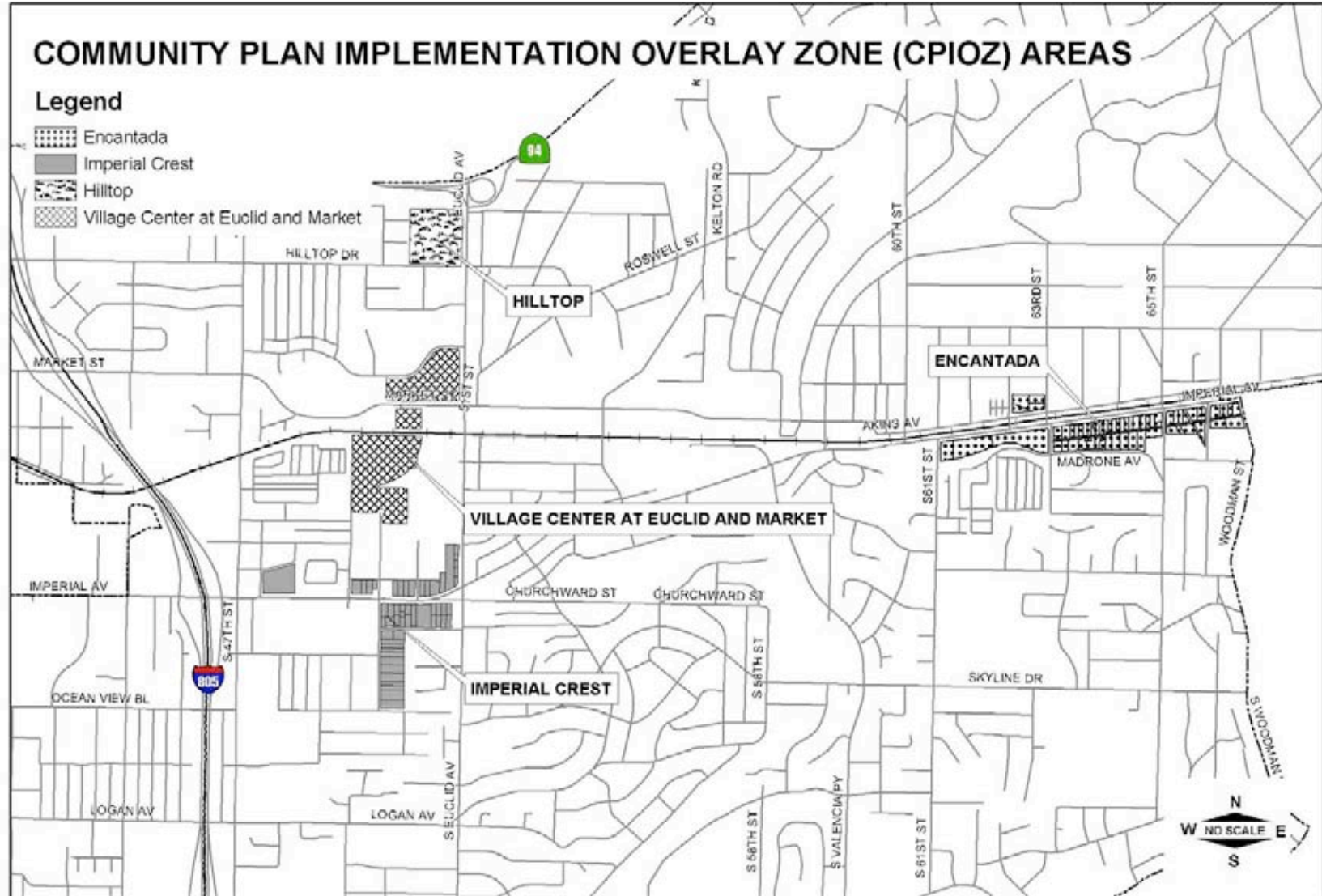
## VILLAGE VISION

The Village Vision is for a revitalized community that provides a wide range of housing, shopping, and work opportunities conveniently joined together by the historic major transportation corridors along Euclid Avenue, Imperial Avenue and Market Street.

The vision incorporates the housing and land use policies adopted in the General Plan, bringing together mixed-use residential, commercial, and retail uses, much as they were when this community began in the 1920s, but updated to the 21<sup>st</sup> Century. There are three ‘villages’, which include the Village Center at Euclid and Market; and, the Imperial Crest and Encantada transit corridors. The Village Center at Euclid and Market will provide a combination of commercial and community facilities along with multi-family housing opportunities, all in close proximity to the San Diego Trolley. The Imperial Crest and Encantada areas are expected to develop as transit corridors with a residential focus and limited commercial development. The Hilltop and Euclid site will provide lower-cost, single-family housing. The vision extends to the east of the Southeastern San Diego Community Plan area into the neighboring community of Skyline-Paradise Hills. Figure V-1 depicts the locations of these areas. These areas are connected by the existing single-family and multi-family neighborhoods, commercial areas, medical offices, public facilities and transit routes, which combine with the proposed new development to complete the overall vision. The Orange Line of the San Diego Trolley, along with major bus routes, public roads, bikeways, and paths tie the community together internally and to downtown San Diego.

The Villages are anchored and supported by existing civic uses, public infrastructure and amenities such as the rebuilt Lincoln High School, the Orange Line of the San Diego Trolley, the Encanto Branch of South Las Chollas Creek, Marie Widman Memorial Park and Samuel Gompers Park. It builds on current City of San Diego and Southeastern Economic Development Corporation (SEDC) planning documents and regulations including, the City of San Diego General Plan, the Land Development Code, the Southeastern San Diego Planned District Ordinance, the Central Imperial Redevelopment Plan, the Chollas Creek Enhancement Plan, the Imperial Avenue Corridor Master Plan, the City of Villages Strategy, Project First Class, and SEDC’s Multi Family Development Guidelines.

*Village Center at Euclid and Market* – This project, part of the City’s Pilot Village Program, continues the transformation of approximately 45 acres of previously vacant, untended and underutilized land located along the Market Street and Euclid Avenue corridors, into a vibrant community hub. Located at the intersection of four neighborhoods: Lincoln Park, Valencia Park, Chollas View, and Emerald Hills, this area provides an opportunity for increased use of public transit as it includes the Euclid Avenue Trolley Station, a major bus transit center, along with a park and ride area. The vision for this area is revitalized existing neighborhoods that retain their individual character. Included are approximately 800 residential units, planned as a mix of for-sale and rental homes provided at a range of affordability levels. The area includes plans for youth activities, park space, cultural learning opportunities and art. An outdoor amphitheater, some park space, and a community center-already exist at the sites. Areas south of Market Street and west of South Las Chollas Creek are designated residential to help support the existing



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**FIGURE V-1**

Market Creek Plaza commercial development east of the creek. Areas north of Market Street allow for mixed use.

Proposed residential and mixed-use areas, along with the existing community center are designated as a Neighborhood Village, building on existing and currently permitted development at Market Creek Plaza to create a vibrant community hub. Existing Market Creek Plaza uses include a major super market, restaurants, a bank, amphitheater, creek walk, and the Jacobs Center. The Jacob's Center is a community center and educational center that also provides meeting space and offices. It is located west of Chollas Creek and south of the trolley tracks.

Planned residential densities vary from area to area within the Pilot Village. Overall, residential densities fall within the Neighborhood Village range of 15 to 44 dwelling units per acre. Specific zones are applied within the Pilot Village to achieve the desired residential and commercial density. It is this mix of densities that allow the Pilot Village to provide a mix of for-sale and rental homes at a range of affordability levels.

### *Transit Corridors*

*Imperial Crest* – This area is located in the Lincoln Park neighborhood. This area includes vacant land, under-utilized commercial properties, multi-family neighborhoods, intermingled with existing single-family developments. Civic uses in the area include the rebuilt Abraham Lincoln High School and Fire Station #12. The vision creates a family-friendly community with opportunities to live, work and play without leaving the neighborhood. Uses include new mixed-use commercial, retail and medium to high density residential uses. Higher density is planned for the south side of Imperial Avenue, between Euclid Avenue and Lincoln High School. It is not expected that every parcel will include commercial uses because the area is residentially focused. Commercial uses serving as “book-ends” at the corners of the block on the south side of Imperial Avenue between Euclid Avenue and Willie James Jones Avenue should be those that support the neighboring multi-family and single-family developments. Regulations and design guidelines require the integration of pedestrian elements such as building entries, porches and stoops to become the primary features along Imperial Avenue to enhance pedestrian use of the street.

*Encantada* – This area is located in the eastern section of the Imperial Avenue Corridor Master Plan area, primarily on the south side of Imperial Avenue from 61<sup>st</sup> Street, east to 69<sup>th</sup> Street. The portion within the Southeastern San Diego Community Plan area extends from 61<sup>st</sup> Street to Woodman Street. This area includes vacant land, underutilized commercial properties, and multi-family neighborhoods intermingled with single-family developments. Civic uses include the 62<sup>nd</sup> Street Trolley Station and Marie Widman Memorial Park. The Encantada vision creates a unique, family-friendly, mixed-use community of transit-oriented retail, commercial and residential uses that blend in the old and the new. Sited at the base of green canyon edges, Encantada promotes a diverse offering of housing types and commercial spaces. Medium to high density residential uses are planned. Mixed-use with ground floor commercial is located on a portion of the current trolley station parking lot and to the south of Imperial Avenue across from the trolley station. Most parcels do not include commercial uses because the area is residentially focused. Commercial uses should be those that support the neighboring multi-family and single-family developments. The Encantada area includes Second Chance, a local and

regional provider of services to the homeless and the unemployed. Retaining Second Chance as a vital community service provider and allowing for a mixed use development on the vacant portion of their parcel is part of the overall vision for Encantada. Creation of pedestrian-oriented street fronts along Imperial Avenue is achieved, by limiting traffic crossing points at sidewalks and encouraging pedestrian entries, porches, outdoor spaces and courtyards to be accessed directly off of Imperial Avenue. Driveways on Imperial Avenue are limited to reduce the amount of traffic crossing points at sidewalks and instead are provided through dedicated driveways set away from pedestrian zones.

### *Single Family Component*

Hilltop and Euclid – This area provides workforce housing opportunities and on-site open space. Housing opportunities include small-lot, single-family housing as well as townhomes. This area connects to the existing bus service along Euclid Avenue and is located within walking and biking distance to the Euclid Avenue Trolley Station and additional shopping opportunities provided by the Village Center at Euclid and Market. The site is also within walking distance to of several civic uses including Chollas Elementary School, Gompers Charter Middle School, the Elementary Institute of Science, the Malcolm X Library and Samuel Gompers Park. The site provides residential units at a single family density. Commercial development is not permitted at this site.

Together the Imperial Crest, Encantada, and Hilltop and Euclid areas provide a wide variety of housing opportunities, both for-sale and rental, at a large range of affordability levels. In order to take advantage of the opportunity presented by these areas, a variety of multifamily and two single family residential zones span the density range specified by the proposed land use designations. Zoning densities range from a low of 15 dwelling units per acre (RM-1-1) to a high of 44 dwelling units per acre (RM-3-7).

### *OBJECTIVES*

The principal objective for the Village/Mixed Use Element in SESD is to:

PROMOTE MIXED-USE AND HIGH QUALITY RESIDENTIAL DEVELOPMENTS THAT SUPPORT TRANSIT USE, REDUCE AUTOMOBILE DEPENDENCE, ESTABLISH A PEDESTRIAN-FRIENDLY ORIENTATION, AND OFFER FLEXIBILITY FOR REDEVELOPMENT OPPORTUNITIES WHILE MAINTAINING THE COMMUNITY CHARACTER.

To achieve this principal objective, the following additional objectives are also included:

- Create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages.
- Achieve an overall mix of different housing types to add diversity to communities and to increase housing supply with emphasis on the following:



- Incorporating a variety of multi-family housing types in multi-family project areas;
  - Incorporating a variety of single-family housing types in single-family projects/subdivisions;
  - Building town homes and small lot single-family homes as a transition between higher density homes and lower density single-family neighborhoods with increased drought-tolerant landscaping as part of a transitional buffer; and
  - Identifying sites that are suitable for revitalization and for the development of additional housing.
- Determine the appropriate mix of land uses within Southeastern San Diego and Encanto with attention to:
    - Surrounding neighborhood uses;
    - Uses that are missing from the community;
    - Community preferences; and
    - Availability of public facilities and services
- Provide opportunities for people to live, work and recreate in the same areas through the integration of mixed residential, commercial and recreational uses.
  - Increase the opportunities within Southeastern San Diego and Encanto for rehabilitation of existing commercial centers and development of new commercial areas in the community through the integration of mixed land uses and compact building design.
  - Focus more intense commercial and residential development in redevelopment areas, including the mixed-use Village Center at the Euclid and Market Pilot Village, and to a lesser extent along transit corridors, (including but not limited to Market Street, Euclid Avenue, and Imperial Avenue) in support of the Strategic Framework Element of the General Plan in a manner that is pedestrian-oriented and preserves the vast majority of single-family neighborhoods.
  - Provide opportunities for a community-specific mix of uses within the community.
  - Increase community vitality and character through incorporation of Smart Growth design principles in new developments including, but not limited to, a mix of land uses, compact building design, walkable neighborhoods, and a provision of a range of housing opportunities and choices.
  - Encourage future development of a built environment that exists in a symbiotic relationship with the cultural environment through incorporation of unique community features and local architectural elements.

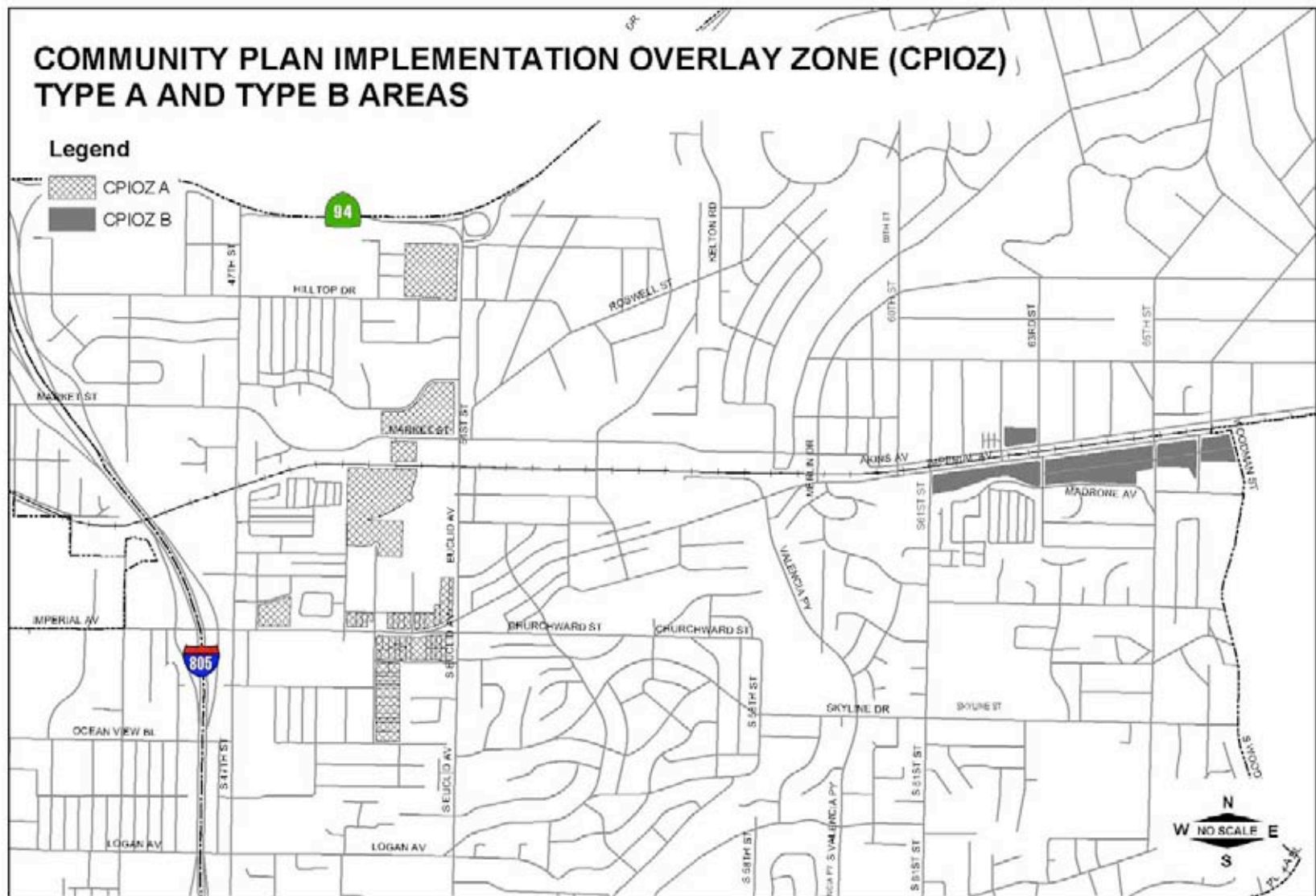
### VILLAGE RECOMMENDATIONS

- Develop the vacant lot immediately west of Euclid Avenue and north of Hilltop Drive with a mixture of single-family attached and detached homes. Use small lot single-family detached homes to provide a transition between small lot single-family attached homes and existing single-family neighborhoods with lower density. This site should provide a variety of housing opportunities, including for-sale market-rate and affordable housing, in a pedestrian-friendly setting.
- Develop the Village Center at the Euclid and Market Pilot Village with a mixture of multi-family, commercial/retail, and office land uses that are pedestrian-friendly and support transit use. A range of housing opportunities, including for-sale and affordable housing, should be provided on this site. This area can be developed as a hub of the Southeastern San Diego and Encanto communities by providing opportunities for people to live, work and recreate.
- Develop the former Ouchi Nursery (south of Imperial Avenue, between Willie James Jones Avenue and Euclid Avenue) with townhomes. Development on this site should consider compact building design and pedestrian-friendliness. This site should provide a variety of housing opportunities, including for-sale and affordable housing.
- Develop parcels within the Imperial Avenue Corridor Master Plan site with a mixture of zero-lot line single-family homes (townhomes), and multi-family homes. Mixed uses including residential, retail and commercial uses should be provided in close proximity to the 63<sup>rd</sup> Street Trolley Station and at the southwestern corner of Euclid Avenue and Imperial Avenue, and the Southeastern Corner of Willie James Jones Street and Imperial Avenue consistent with the land use designation and zoning. This corridor should provide a variety of housing opportunities, including for-sale and affordable housing, in a pedestrian-friendly setting.

### COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ)

Within the Southeastern San Diego and Encanto Community Plan areas Village development will be implemented through the use of a Community Plan Implementation Overlay Zone (CPIOZ) as provided by Municipal Code Chapter 13, Article 2, Division 14. CPIOZ provide supplemental development regulations and guidelines that are tailored to specific sites within community plan areas of the City. The intent of these regulations is to ensure that *development* proposals are reviewed for consistency with the use and *development* criteria that have been adopted.

Figure V-2 identifies the specific parcels located within the CPIOZ. Some of these parcels are identified as CPIOZ Type A and others are identified as CPIOZ Type B.



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**FIGURE V-2**



### CPIOZ Type A

Future development, on properties identified as CPIOZ Type A, that is consistent with the community plan, the base zone regulations, and these supplemental regulations will be processed ministerially in accordance with the procedures of the Community Plan Implementation Overlay Zone (Municipal Code Chapter 13, Article 2, Division 14). Development on parcels designated CPIOZ Type A, that is not consistent with the community plan, base zone regulations, and these supplemental regulations is processed as a CPIOZ Type B, as described below.

### CPIOZ Type B

Development proposals on parcels identified as CPIOZ Type B require discretionary review to determine if the development proposal is consistent with the community plan and these supplemental regulations. Development proposals on any parcel identified as CPIOZ Type B shall be required to obtain discretionary approval processed as a Site Development Permit, per Municipal Code Chapter 12, Article 6, Division 5. Applications for development on a CPIOZ Type B parcel shall meet the purpose and intent of these supplemental development regulations. Exceptions from these regulations may be granted by the Planning Director in accordance with the procedures of the Community Plan Implementation Overlay Zone (Municipal Code Article 2, Division 14).

Applications for development on a CPIOZ Type B parcel will require a discretionary review process and should address: 1) the design and compatibility of the project in relation to surrounding development, including conformance with the design guidelines of this Element. Projects may propose design solutions that differ from, but are of equal or higher quality to the design concepts set forth in this Element; and, 2) the ability of the project to support transit use, reduce dependence on the automobile, and establish a pedestrian-friendly orientation.

The CPIOZ does not supersede a project from complying with the permitting requirements found in Chapter 12, Article 6 of the Municipal Code. This includes projects that require a Planned Development Permit (PDP), Site Development Permit (SDP), Conditional Use Permit (CUP), Neighborhood Use Permit, Neighborhood Development Permit, limited uses, variances, or projects involving environmentally sensitive lands (ESL).

Five land use designations are being applied to properties located within the CPIOZ: Neighborhood Village, Residential 5-10 du/ac, Residential 15-30 du/ac, Residential 30-44 du/ac, and Neighborhood Commercial Residential Permitted. The Neighborhood Village designation is applied to the Village Center at the Euclid and Market Pilot Village. The Neighborhood Village designation allows mixed-use development with a residential density of 15 to 44 dwelling units per acre. The Neighborhood Commercial Residential Permitted designation applies to several parcels distributed within the CPIOZ area, and allows mixed-use development with a residential density of 15 to 44 dwelling units per acre. The Residential 5-10 du/ac designation applies to the Hilltop and Euclid site. The Residential 30-44 du/ac designation is applied to two areas, both in the Imperial Crest area. The remainder of the CPIOZ area is designated Residential 15-30 du/ac.

### Land Use Designations:

The proposed SESD CPIOZ includes parcels totaling approximately 80 acres of land. These parcels will be developed pursuant to these Supplemental Development Regulations, which

allow a greater variety and intensity of uses than base zoning and require pedestrian and transit friendly site design. This will result in reduced automobile dependency, increased pedestrian activity and transit use, and the creation of high quality, interactive neighborhoods. The land use plan for the SESD CPIOZ is shown on Figure V-3.

The density ranges for the Residential 5-10 du/ac, and Residential 15-30 du/ac are from the currently adopted Southeastern San Diego Community Plan. The density associated with the Neighborhood Village, and Residential 30-44 du/ac are from the Land Use Element of the General Plan. The residential density range for Neighborhood Commercial (Residential Permitted) is tailored to meet the specific community needs of Southeastern San Diego and Encanto.



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**FIGURE V-3**

Neighborhood Village - Provides housing in a mixed-use setting and convenience shopping, civic uses as an important component, and services serving an approximate three-mile radius. This land use designation allows densities ranging from 15-44 dwelling units per acre.

Neighborhood Commercial (Residential Permitted) – Provides local convenience shopping, civic uses, and services serving an approximately three-mile radius. Housing may be allowed only within a mixed-use setting. This land use designation allows densities ranging from 15-44 dwelling units per acre.

Residential 5-10 du/ac – Provides for both traditional single-family and attached rowhouse type housing within a low-density range.

Residential 15-30 du/ac – Provides for both single-family and multifamily housing within a medium-density range.

Residential 30-44 du/ac – Provides for both single-family and multifamily housing within a medium-high-density range.

## **SUPPLEMENTAL DEVELOPMENT REGULATIONS**

The Development Regulations contained in the City of San Diego Land Development Code, including the Southeastern San Diego Planned District Ordinance, apply to development proposals in the SESD CPIOZ except as specifically modified in this section. Where the applicable regulations of the PDO differ from the applicable regulations of other sections of the Land Development Code, the PDO regulations take precedence, except where clearly modified by the CPIOZ. For previously conforming uses within the CPIOZ, Chapter 12, Article 7 of the Land Development Code applies.

### **Permitted Uses**

<u>P = Use or use category is permitted. Regulations pertaining to a specific use may be referenced.</u>
<u>L = Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>N = Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>C = Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>-- = Use not permitted in the specified zone within the SESD CPIOZ.</u>

Permitted uses within the RT-1-4 and RX-1-2 zones of the SESD CPIOZ shall be as permitted in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

<u>Open Air Markets for the Sale of Agriculture-Related Products &amp; Flowers</u>	<u>C</u>
<u>Mobilehome Parks</u>	--
<u>Employee Housing, 6 or Fewer Employees</u>	--
<u>Guest Quarters</u>	<u>N</u>
<u>Live/Work Quarters</u>	<u>L</u>
<u>Botanical Gardens &amp; Arboretums</u>	--
<u>Educational Facilities, Kindergarten through Grade 12, Colleges/Universities</u>	--
<u>Social Service Institutions</u>	<u>C</u>
<u>Bed &amp; Breakfast Establishments, 1-2 Guest Rooms, 3-5 Guest Rooms</u>	--
<u>Large Family Child Care Homes</u>	--
<u>Golf Course, Driving Ranges, and Pitch &amp; Putt Courses</u>	--
<u>Temporary Construction Storage Yards Located off-site</u>	--
<u>Relocation of Sign Area Allowance</u>	<u>N</u>
<u>Theater Marquees</u>	<u>N</u>

Permitted uses within the RM-3-7 zone of the SESD CPIOZ shall be limited to the residential uses permitted in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code. . Permitted uses within the RM-3-7 and RM-3-9 zones of the Village Center at the Euclid and Market Pilot Village shall be as permitted in Chapter 13, Article 1, Division 4, except as follows:

<u>Open Air Markets for the Sale of Agriculture-Related Products &amp; Flowers</u>	<u>C</u>
<u>Mobilehome Parks</u>	--
<u>Employee Housing, 6 or Fewer Employees</u>	--
<u>Fraternities, Sororities and Student Dormitories</u>	--
<u>Live/Work Quarters</u>	<u>L</u>
<u>Cemeteries, Mausoleums, Crematories</u>	--
<u>Churches &amp; Places of Religious Assembly</u>	<u>C</u>
<u>Educational Facilities, Kindergarten through Grade 12, Colleges/Universities</u>	--
<u>Hospitals, Intermediate Care Facilities &amp; Nursing Facilities</u>	--
<u>Museums</u>	<u>C</u>
<u>Wearing Apparel &amp; Accessories</u>	<u>P</u>
<u>Business Support</u>	<u>P</u>
<u>Eating &amp; Drinking Establishments</u>	<u>P</u>
<u>Financial Institutions</u>	<u>P</u>
<u>Bed &amp; Breakfast Establishments, 1-2 Guest Rooms, 3-5 Guest Rooms, and 6+ Guest Rooms</u>	--
<u>Large Family Child Care Homes</u>	--
<u>Eating and Drinking Establishments Abutting Residentially Zoned Property</u>	<u>L</u>
<u>Golf Course, Driving Ranges, and Pitch &amp; Putt Courses</u>	--
<u>Instructional Studios</u>	<u>C</u>
<u>Massage Establishments, Specialized Practice</u>	<u>C</u>
<u>Permanent Parking Facilities [Per Municipal Code Section 141.0616, with the exception that no surface parking facilities are permitted.]</u>	<u>N</u>
<u>Temporary Parking Facilities</u>	<u>N</u>
<u>Pushcarts on Private Property</u>	<u>L</u>
<u>Pushcarts in public right-of-way</u>	<u>L</u>
<u>Sidewalk Cafes</u>	<u>N</u>
<u>Business &amp; Professional Offices</u>	<u>P</u>
<u>Government Offices</u>	<u>P</u>
<u>Sex Offender Treatment &amp; Counseling</u>	--
<u>Temporary Construction Storage Yards Located off-site</u>	--



<u>Relocation of Sign Area Allowance</u>	<u>N</u>
<u>Theater Marquees</u>	<u>N</u>

Permitted uses within the CC-3-5 zone of the SESD CPIOZ shall be as permitted in Chapter 13, Article 1, Division 5 of the City of San Diego Municipal Code, except as follows:

<u>Community Gardens</u>	<u>N</u>
<u>Open Air Markets for the Sale of Agriculture-Related Products &amp; Flowers</u>	<u>C</u>
<u>Fraternities, Sororities and Student Dormitories</u>	<u>--</u>
<u>Airports</u>	<u>--</u>
<u>Botanical Gardens &amp; Arboretums</u>	<u>--</u>
<u>Cemeteries, Mausoleums, Crematories</u>	<u>--</u>
<u>Correctional Placement Centers</u>	<u>--</u>
<u>Educational Facilities, Kindergarten through Grade 12</u>	<u>--</u>
<u>Educational Facilities, Colleges/Universities</u>	<u>C</u>
<u>Educational Facilities, Vocational/Trade School</u>	<u>P</u>
<u>Exhibit Halls &amp; Convention Facilities</u>	<u>--</u>
<u>Major Transmission, Relay or Communications Switching Stations</u>	<u>--</u>
<u>Alcoholic Beverage Outlets</u>	<u>--</u>
<u>Plant Nurseries</u>	<u>--</u>
<u>Funeral &amp; Mortuary Services</u>	<u>--</u>
<u>Maintenance &amp; Repair</u>	<u>--</u>
<u>Assembly &amp; Entertainment</u>	<u>C</u>
<u>Radio &amp; Television Studios</u>	<u>--</u>
<u>Visitor Accommodations</u>	<u>--</u>
<u>Adult Book Store</u>	<u>--</u>
<u>Adult Cabaret</u>	<u>--</u>
<u>Adult Drive-In Theater</u>	<u>--</u>
<u>Adult Mini-Motion Picture Theater</u>	<u>--</u>
<u>Adult Model Studio</u>	<u>--</u>
<u>Adult Motel</u>	<u>--</u>
<u>Adult Motion Picture Theater</u>	<u>--</u>
<u>Adult Peep Show Theater</u>	<u>--</u>
<u>Adult Theater</u>	<u>--</u>
<u>Body Painting Studio</u>	<u>--</u>
<u>Sexual Encounter Establishment</u>	<u>--</u>
<u>Bed &amp; Breakfast Establishments, 1-2 Guest Rooms, 3-5 Guest Rooms, and 6+ Guest Rooms</u>	<u>--</u>
<u>Boarding Kennels</u>	<u>--</u>
<u>Camping Parks</u>	<u>--</u>
<u>Golf Course, Driving Ranges, and Pitch &amp; Putt Courses</u>	<u>--</u>
<u>Helicopter Landing Facilities</u>	<u>--</u>
<u>Massage Establishments, Specialized Practice</u>	<u>C</u>
<u>Nightclubs &amp; Bars over 5,000 square feet in size</u>	<u>--</u>
<u>Recycling Facilities, Large Collection and Small Collection</u>	<u>--</u>
<u>Recycling Drop-off Facility</u>	<u>--</u>
<u>Reverse Vending Machines</u>	<u>--</u>
<u>Sports Arena &amp; Stadiums</u>	<u>--</u>
<u>Regional &amp; Corporate Headquarters</u>	<u>--</u>
<u>Real Estate Sales Offices &amp; Model Homes</u>	<u>P</u>
<u>Sex Offender Treatment &amp; Counseling</u>	<u>--</u>

<a href="#">Automobile Service Stations</a>	--
<a href="#">Temporary Construction Storage Yards Located off-site</a>	--
<a href="#">Newspaper Publishing Plants</a>	--
<a href="#">Community Identification Signs</a>	N
<a href="#">Revolving Projecting Signs</a>	--
<a href="#">Signs with Automatic Changing Copy</a>	--

### **Separately Regulated Uses**

#### *Eating and Drinking Establishments Abutting Residentially Zoned Property*

When allowed within the RM-3-7 and RM-3-9 zones of the SESD CPIOZ, eating and drinking establishments abutting residentially zoned property are permitted as a Limited Use, and subject to the following regulations.

- Eating and drinking establishments abutting residential zones may operate only during the hours between 6:00 a.m. and 12:00 midnight. These hours can be further limited so that neighboring land uses are not disturbed by noise and lights.
- No drive-through services are permitted.
- Off-street parking shall be provided in accordance with Table 142-05F of the Municipal Code. The parking shall be provided at a level sufficient to serve the facility without impacting adjacent or nearby property.
- A litter control plan shall be required to keep the facility and adjacent property free of litter.
- All storage, service, and repair areas shall be located on the site so that they are not visible, or shall be screened so that they are not visible, from adjacent development and public rights-of-way.

### **Development Regulations**

Development within the SESD CPIOZ shall abide by the following regulations:

Development within the RX-1-2 zone of the SESD CPIOZ shall abide by the regulations contained in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

<a href="#">Minimum Lot Area (sq. ft.) [see Section 131.0441 of the Municipal Code]</a>	<u>2,100</u>
<a href="#">Minimum Lot Width (ft) [If a lot abuts an alley, see Section 131.0442(c) of the Municipal Code]</a>	<u>30</u>
<a href="#">Minimum Street frontage (ft) [see Section 131.0442(b) of the Municipal Code; If a lot abuts an alley, see Section 131.0442(c) of the Municipal Code]</a>	<u>30</u>
<a href="#">Minimum Lot Width (corner) (ft) [If a lot abuts an alley, see Section 131.0442(c) of the Municipal Code]</a>	<u>30</u>
<a href="#">Minimum Lot Depth (ft)</a>	<u>70</u>
<a href="#">Minimum Front setback (ft) [see Section 131.0443(b)(1) of the Municipal Code]</a>	<u>5</u>
<a href="#">Minimum Side setback (ft) [see Section 131.0443(b)(2) of the Municipal Code]</a>	-
<a href="#">Detached</a>	<u>5/0</u>
<a href="#">Attached</a>	<u>0</u>

Development within the RT-1-4 zone of the SESD CPIOZ shall abide by the regulations contained in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

<u>Minimum Lot Area (sq. ft.) [see Section 131.0441 of the Municipal Code]</u>	<u>1,500</u>
<u>Minimum Lot Depth (ft)</u>	<u>60</u>
<u>Minimum Front setback (ft) [see Section 131.0443(c)(1) of the Municipal Code]</u>	<u>0</u>
<u>Minimum Street side setback (ft)</u>	<u>10</u>

Development within the multifamily zones of the SESD CPIOZ shall abide by the regulations contained in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

	<b><u>RM-1-1, RM-1-3, RM-2-4, RM-2-5, RM-2-6, RM-3-7, and RM-3-9</u></b>
<u>Minimum Front setback (ft)</u> <u>[See Section 131.0443(f)(1) of the Municipal Code] (1)</u>	<u>0</u>
<u>Standard Front setback (ft)</u> <u>[See Section 131.0443(f)(1) of the Municipal Code] (1)</u>	<u>0</u>
<u>Minimum Side setback (ft)</u> <u>[See Section 131.0443(f)(2) of the Municipal Code] (2)</u>	<u>0</u>
<u>Standard Side Setback (ft) (2)</u>	<u>0</u>
<u>Maximum Streetside Setback (ft)</u> <u>[see Sections 131.0543(a)(1) and 131.0543(a)(2) of the Municipal Code]</u>	<u>10</u>
<u>Minimum Rear setback (ft)</u>	<u>10</u>
<u>Setback requirements for resubdivided corner lots</u> <u>[see Section 131.0443(i) of the Municipal Code]</u>	<u>--</u>
<u>Rear Setback abutting residential</u> <u>[see Section 131.0543(c) of the Municipal Code]</u>	<u>applies</u>
<u>Pedestrian paths [see Section 131.0550 of the Municipal Code]</u>	<u>applies</u>
<u>Transparency [see Section 131.0552 of the Municipal Code]</u>	<u>applies</u>
<u>Building Articulation [see Section 131.0554 of the Municipal Code]</u>	<u>applies</u>

Notes: (1). See CPIOZ Imperial Crest Setback and Encantada Setback.

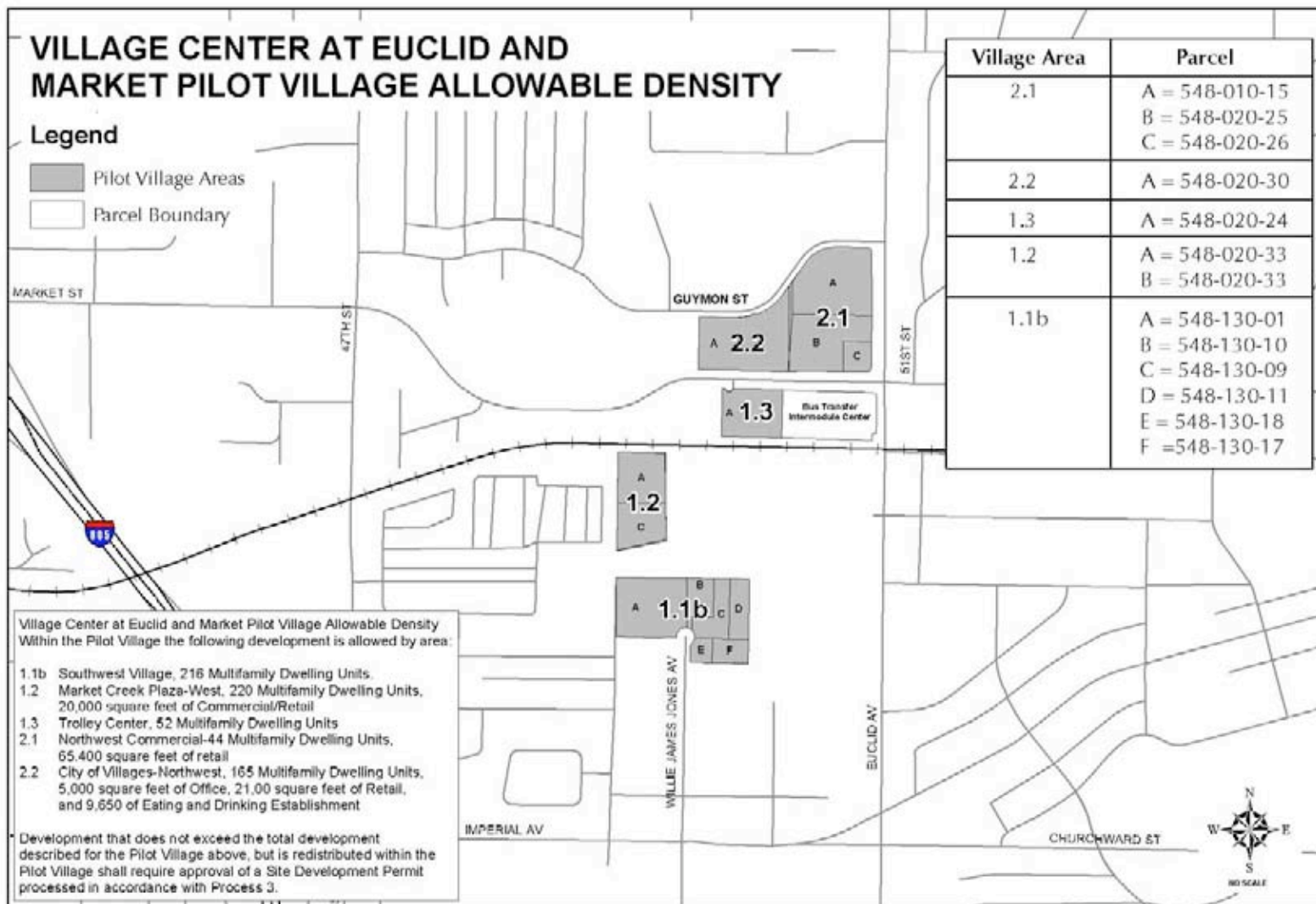
(2). See CPIOZ, Setbacks for Compatibility.

The Maximum permitted density for parcels zoned RM-3-9 within the SESD CPIOZ is 60 dwelling units per acre.

Village Center at the Euclid and Market Pilot Village Allowable Density  
Within the Pilot Village the following development is allowed by area (Figure V4):

- 1.1b. Southwest Village, 216 Multifamily Dwelling Units.
- 1.2. Market Creek Plaza – West, 220 Multifamily Dwelling Units, 20,000 square feet of Commercial/Retail.
- 1.3. Trolley Center, 52 Multifamily Dwelling Units.
- 2.1. Northwest Commercial – 44 Multifamily Dwelling Units, 65,400 square feet of retail.
- 2.2. City of Villages – Northwest, 165 Multifamily Dwelling Units, 5,000 square feet of Office, 21,500 square feet of Retail, and 9,650 square feet of Eating and Drinking Establishment.

Development that does not exceed the total development described above for the Pilot Village, but is redistributed within the Pilot Village shall require approval of a Site Development Permit processed in accordance with Process 3. The SDP application shall include an analysis demonstrating from what other area the excess density and/or square footage is derived. The application shall also include a complete history of any such redistribution within the Pilot Village, including the authorizing SDP number(s). The allowable density/square footage for the donor parcel would be reduced with approval of the SDP. The CPCI/Planning Director shall maintain a log of how units have been reallocated within the Pilot Village.



**SOUTHEASTERN SAN DIEGO**  
CITY OF SAN DIEGO • PLANNING DEPARTMENT

**FIGURE V4**



#### Hilltop and Euclid Site Allowable Density

Within the Hilltop and Euclid site there exist topographical constraints that effectively reduce the net developable area. Development is limited to no greater than 105 single-family dwelling units, the density achievable under the land use designation 5-10 du/ac.

#### Commercial Floor Area Ratio (FAR) Limitations

Within the SESD CPIOZ there exist topographical and other constraints that effectively reduce the net developable area. To create the desired mix of commercial and residential uses, the commercial FAR regulations of the underlying zone are limited as follows:

- Imperial Crest Area, allowable commercial FAR is 0.3.
- Encantada Area, allowable commercial FAR for parcel 549-130-13 is 0.1.
- Encantada Area, allowable commercial FAR for new mixed use development on vacant portion of lot for parcel 549-130-12 (Second Chance) is 0.01

#### Southeastern San Diego Development Permit Requirements

Section 1519.0202 of the Southeastern San Diego Planned District Ordinance, Southeastern San Diego Development Permit, shall not apply to projects located within the SESD CPIOZ.

#### Setbacks for Compatibility

Where the development on CPIOZ parcels abuts residentially-zoned non-CPIOZ parcels, a minimum 6-foot side yard shall be provided adjacent to the residentially-zoned non-CPIOZ parcel. The third story requires a 9-foot setback and additional stories shall be set back 15 feet

Where the development on CPIOZ parcels abuts other CPIOZ parcels, up to 100 linear feet of a building wall may be on the property line. Any third story shall be set back at least 6-feet; each story above the third requires a 15-foot setback.

#### Interior Water Use

Potable water conservation shall be achieved by projects within the SESD CPIOZ. New residential and commercial/office/retail uses in the SESD CPIOZ shall achieve water savings by implementing the following measures to reduce anticipated single-family and multi-family water use to no more than 138.75, and 83.25 gallons per day per person, respectively (assuming 3.90 persons per household); and, commercial/retail/office water use to 30.4 gallons per day per employee:

- Toilets shall be high efficiency models (not exceed 1.28 gallons per flush);
- Residential kitchen sink fixtures shall not exceed 2 gallons per minute;
- Lavatories shall not exceed 1 gallon per minute;
- Showerheads shall not exceed 1.8 gallons per minute; and,
- Any dishwashers/washing machines provided by the developer shall meet US Environmental Protection Agency Watersense labeling requirements.

Potable water conservation measures required above shall be demonstrated by the applicant on building plans for CPIOZ Type A parcels and plans submitted with the Site Development Permit Application for CPIOZ Type B parcels.

## **Parking**

These parking requirements shall apply to development within the SESD CPIOZ

- Section 142.0525 of the Municipal Code applies to projects with multiple dwelling units within the SESD CPIOZ. The column headed Transit Area in Table 142-05C, shall establish the automobile spaces required. Section 142.0530 of the Municipal Code applies to projects with nonresidential development and mixed use development located within the SESD CPIOZ. The column headed Minimum Required Within a Transit Area in Tables 142-05D, 142-05E, and 142-05F shall establish the automobile spaces required.
- Tandem parking as described in Municipal Code Section 132.0905 is allowable within the SESD CPIOZ.

## **Building Site Orientation and Design**

- Buildings fronting on Imperial Avenue or Market Street shall be organized with primary entries oriented towards Imperial Avenue or Market Street.
- On-site parking shall be located behind or to the sides of buildings.
- Large parking areas shall be avoided. Parking areas shall be divided into a series of small parking courts with direct access to adjacent dwelling units. Dwelling units shall have sight lines out of the parking areas.



*Dwelling units oriented to the street*

## **Architectural Design**

- At the street level, pedestrian scaled elements such as awnings, public plazas, planters, building bases, and lattices shall be included. Development projects shall include a minimum of three of the following menu of streetscape elements:
  1. Public plazas.
  2. Planters (Street tree landscaping treatments are required as a separate element).
  3. Awnings.
  4. Outdoor seating areas enclosed with a low fence enclosures.
  5. Lattices
  6. Building entry canopies.
  7. Freestanding, pedestrian scaled community informational or wayfinding signs.



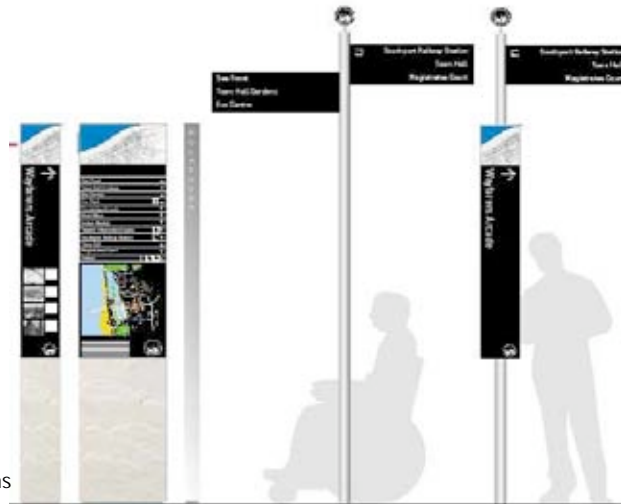
*Awnings and Outdoor Seating*



Entry Canopy and Planters



Public Plaza



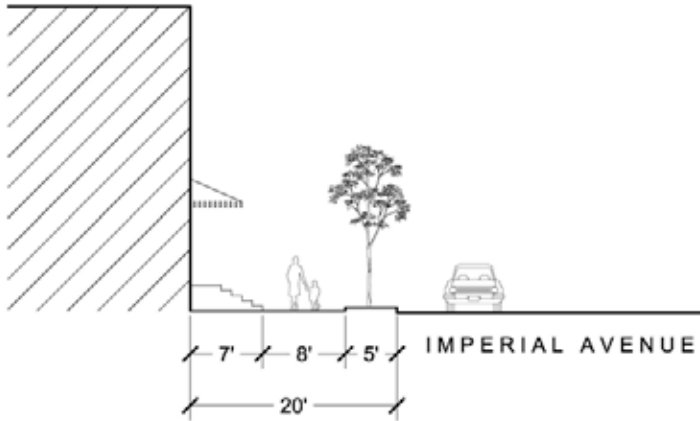
Informational or Wayfinding Signs

- Between public sidewalks and primary building entries, designs shall include semi-private outdoor spaces. Residential shall include at least one of the following:

1. seating areas.
2. courtyards.
3. stoops.
4. latticed gateways.
5. raised planter areas.

Commercial and mixed-use projects shall be defined by using at least one of the following:

1. outdoor sitting/eating areas.
2. courtyards.
3. awnings.
4. entry shade structures.
5. raised planters.



- The street wall façade along public right-of-ways shall be architecturally modulated by volumes that are 100 feet in width or less. Volumes along the street wall must be defined by structural bays, and/or substantial reveals or offsets in the wall plane, and by changes in the rhythmic pattern utilizing one or more of the following features:
  1. Window openings or balconies;
  2. Awnings, canopies, or entrances;
  3. Arcades, columns or pilasters;
  4. Materials and color; or
  5. Other architectural features.
- To create a unified appearance, accessory structures shall be designed as an integral part of the development's architecture. They shall be similar in material, color, and detail to the main buildings of the development.
- Building facades that enclose stairwells shall include a minimum of one two-foot by two-foot window per floor. Building facades enclosing elevator shafts shall use architectural treatments to reduce the visual mass.
- Garage doors shall incorporate architectural detail that is consistent with the overall development's architectural design.
- Blank walls with rows of garage doors that face a public right-of-way are prohibited.
- Each dwelling unit's entry shall include one or more of the following architectural elements:
  1. porches,
  2. stoops, or
  3. roof canopies;and, one or more of the following detailing elements:
  1. paint color,
  2. trim,
  3. materials,
  4. ledges, or
  5. awnings.





- Prefabricated metal stairs must include one or more of the following: screen walls, enhanced railings, or accent colors.
- Roof lines shall be broken up and varied within the overall horizontal plane. Combinations of roof heights that create variation are required.



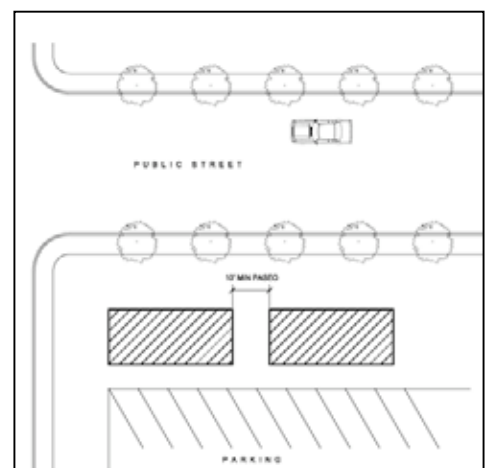
- Roof-mounted mechanical equipment visible from a public right-of-way shall be screened in a manner consistent with the appearance of the building, including materials and color.
- Utility meters and equipment shall be placed in locations that are not exposed to view from the public right-of-way or they shall be screened, including the use of landscape materials. Screening devices shall be compatible with the architecture and color of the adjacent buildings.
- Roof flashing and vents visible from the public right-of-way shall be painted to match adjacent surfaces or concealed in a manner consistent with the building's appearance.

## **Paseos**

- At least one formal walkway (paseo) shall be provided connecting two or more of the following: residential/commercial/mixed use structures, on-site parking, open space, and public rights-of-way.- The paseo shall be at least ten feet wide and shall include landscaping/architectural elements to provide a shade canopy over at least 10 percent of the paseo.



10' Wide Minimum Paseo





- Any provided paseos shall include two or more of the following:
  1. landscape planters.
  2. outdoor public seating spaces.
  3. site walls and lighting.
  4. benches.
- Commercial building facades exposed to any provided paseos shall have windows or fixed glazing areas of at least 30 percent of the total surface area of the wall facing the paseo.
- Residential building facades shall have windows or fixed glazing areas of at least 20 percent of the total surface area of the wall facing any provided paseo.

### **Landscaping and Hardscaping**

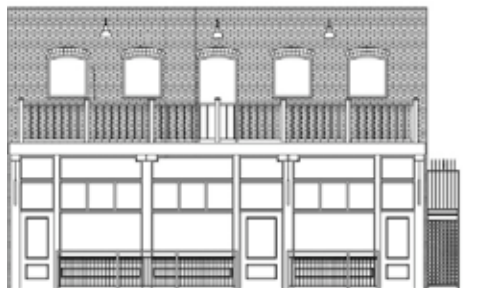
- Tree grates shall be flush with adjacent paving and shall have a minimum 12" diameter tree opening and shall have perforations.
- A paved maintenance strip shall be provided around the perimeter of all traffic medians. Maintenance strips shall be of uniform width and not less than 18" including the curb.
- Planting areas shall be a minimum of 24" wide. If median is too narrow to accommodate maintenance strips and minimum width planting areas, the entire surface shall be attractively paved.

### **Streetscape**

- Driveways along Market Street, Euclid Avenue, and Imperial Avenue shall not be allowed unless a secondary driveway access is unavailable. Exceptions include driveways into major parking lots that serve two or more parcels.
- The main entry to each dwelling unit shall be clearly visible from the nearest public right-of-way.

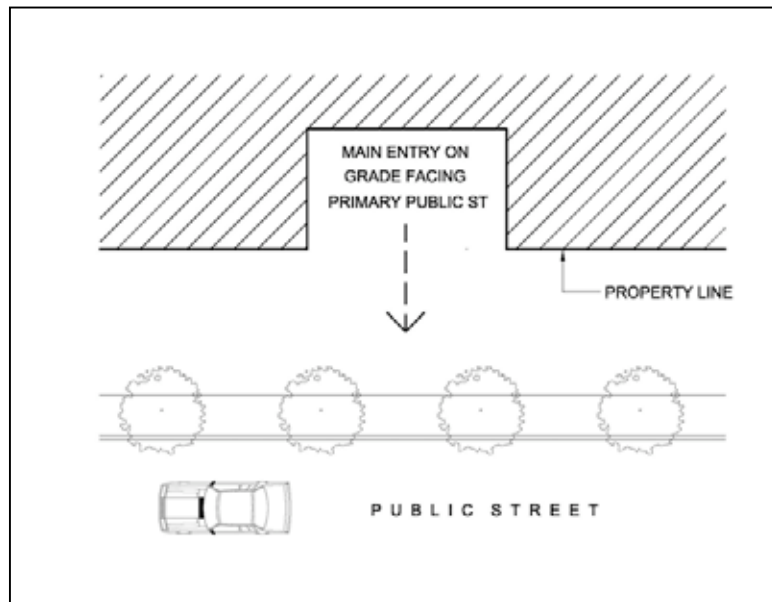
### **Commercial Frontage**

- Commercial frontage shall be broken up so that no single frontage shall exceed 100 feet.
- A minimum of 60 percent of the street facing building façade shall be comprised of clear, non-reflective windows or storefront glass systems that allow views on indoor spaces.

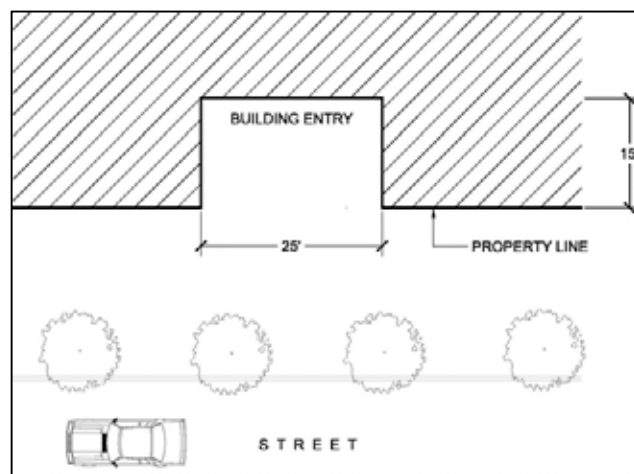


Minimum 60 percent of the street facing building façade at the ground level shall allow views into the indoor spaces.

- A minimum of 25 percent of the side street, or paseo facing building façades shall be comprised of clear, non-reflective windows or storefront glass systems that allow views on indoor spaces.
- Direct access shall be provided facing the public street. Access shall be provided for retail shops located at grade.



- Recessed entrances shall not exceed 25 feet in width and the face of the entry shall be within 15' of the property line.

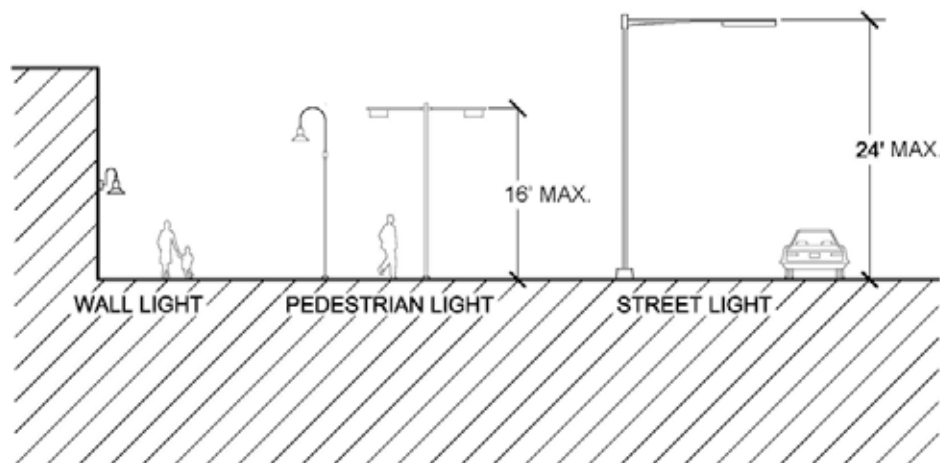


- Walls exposed to streets other than Market Street, Euclid Avenue, or Imperial Avenue or pedestrian passage ways between buildings shall have doors and/or windows, or fixed glazing areas of at least 30 percent of the total surface area of the wall facing these open spaces.

- Visible exterior security gates or bars are not allowed. Interior security systems or enclosures shall not be visible from the exterior of the building during normal business hours.
- Commercial storefronts shall include a minimum of three of the following design elements:
  1. Awnings;
  2. 30" high max. storefront bulkhead or base faced with wood trim, brick or stone veneer, ceramic or glass tile;
  3. Transom windows to maximize natural daylight into the interior spaces;
  4. Pedestrian scaled hanging signage affixed to the building façade; and/or
  5. Outdoor seating area with a maximum 42" high fence enclosure.
- Commercial storefronts on corner lots shall provide one or more of the following elements:
  1. Primary storefront entry;
  2. Outdoor seating area;
  3. Public Plaza;
  4. Location for public art or community informational kiosks.

### **Lighting**

- Lighting for pedestrian corridors and streetscape sidewalks shall provide a minimum lighting standard of 4,000 lumens per fixture. Fixture height shall not exceed 16 feet in height.
- Lighting for open space areas and parking lots shall provide a minimum lighting standard of 8,000 lumens per fixture and shall not exceed 24 feet in height.



- Lighting in parking areas shall be arranged to prevent direct glare into adjacent dwelling units and onto neighboring uses/properties.
- Lighting fixtures on building facades shall be located to provide lighting to entries and public spaces. Fixtures shall be pedestrian scaled and shall be located no higher than 12' above street level. Fixtures shall not exceed 8,000 lumens per fixture.

## Walls and Fences

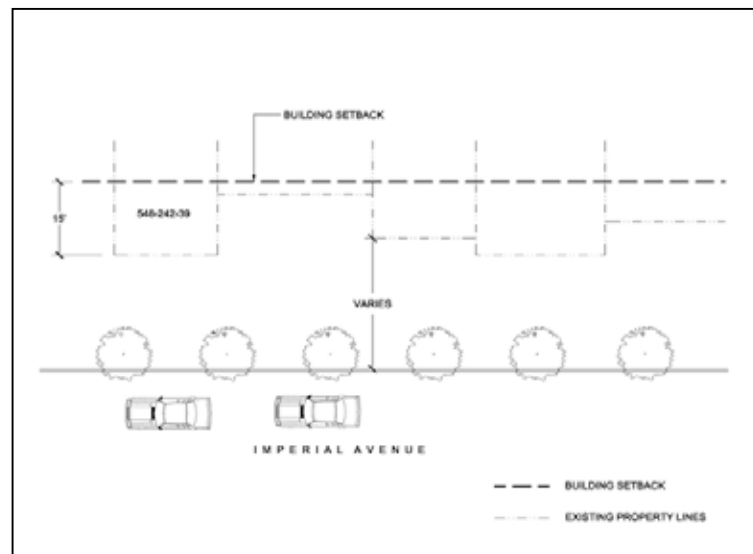
- Chain link fencing is not allowed.

### Imperial Avenue Corridor

These additional regulations apply to the Imperial Crest Area (I-805 to Euclid Avenue) and the Encantada Area (61<sup>st</sup> Street to Woodman Street).

### Imperial Crest Area (Figure V-1)

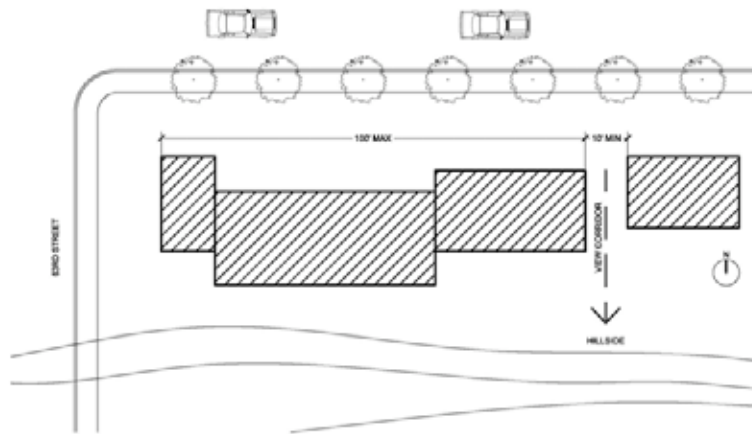
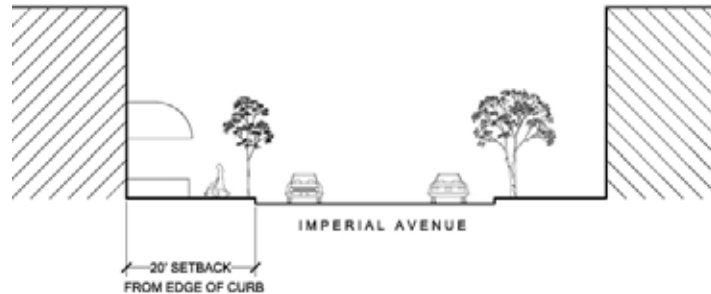
- Setbacks off of Imperial Avenue shall be 20' from the curb (15' feet from the front property line) except for the following conditions:
  1. Setbacks for parcels on the south side of Imperial Avenue between Willie James Jones Avenue to Euclid Avenue shall be uniform based upon a 15' front property line setback from the assessors parcel number 548-242-39.



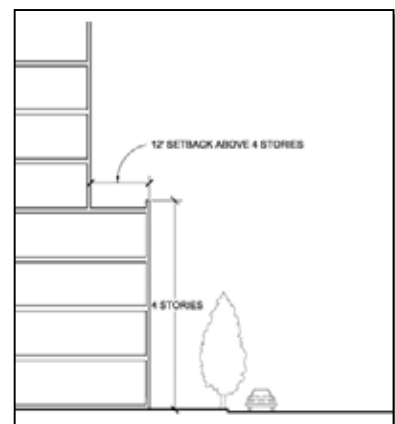
- New street trees along Imperial Avenue in the Imperial Crest area shall be provided in accordance with the SESD CPIOZ Street Tree Corridor Plan Segment B1, Imperial Avenue (See Appendix), planted in tree grates at 30 feet on center, except along Lincoln High School, which shall maintain existing species.
- New street trees along Euclid Avenue in the Imperial Crest area shall be provided in accordance with the SESD CPIOZ Street Corridor Plan Segment B1, Euclid Avenue (see Appendix) planted in tree grates at 30 feet on center.
- Accent or theme street trees at Imperial Crest Gateway intersections (47th Street and Euclid Avenue) shall be provided in accordance with the SESD CPIOZ Street Corridor Plan, Segment B1 Imperial Avenue, and E1, Euclid Avenue (See Appendix) planted in five foot wide parkways or tree grates at 15 feet on center.

## Encantada Area (Figure V-1)

- In the Encantada Area, all development along Imperial Avenue shall have a uniform setback of 20 feet from edge of curb, as illustrated below. In addition, in the Encantada Area, buildings facing Imperial Avenue shall maintain a uniform building face setback as shown below.



- A ten-foot wide minimum view corridor from the street level shall be provided at a minimum of every 100 linear feet between 63rd Street and Woodman Street, on the south side of Imperial Avenue.
- New multi-story developments over four-stories shall be set back away from the street to create a staggered look with lower scaled buildings fronting Imperial. Facades above four stories shall be stepped back 12 feet from the lower façade.
- Parkways at residential developments shall be five foot minimum width.
- New street trees along Imperial Avenue in the Encantada Area shall be provided in accordance with the SESD CPIOZ Street Tree Corridor Plan, Segment C2, Imperial Avenue (See Appendix) planted in tree grates at 30 feet on center.





## **DEVELOPMENT AND DESIGN GUIDELINES - CPIOZ TYPE B REVIEW**

The Development and Design Guidelines apply to development proposals in the SESD CPIOZ that require CPIOZ Type B discretionary review. Applicable design guidelines from the Urban Design Element of this Community Plan should also be applied to CPIOZ Type B projects. These guidelines will direct more finite site design, building architecture, and detailed landscape and environmental character design. If there is a conflict between these guidelines and the guidelines from other applicable plans, these guidelines take precedence.

### **Building Siting**

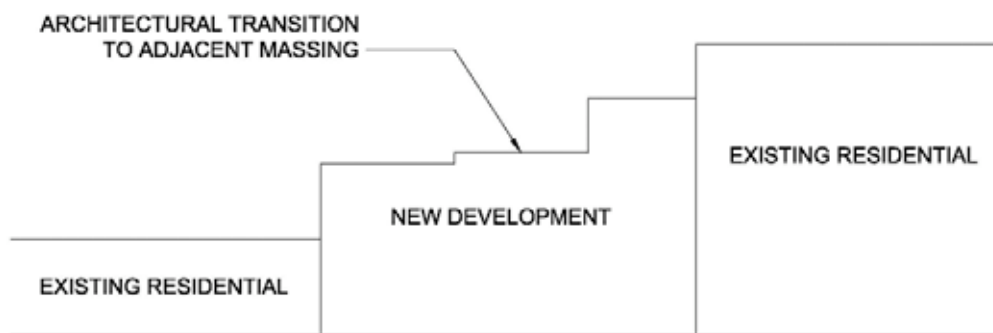
- Buildings should be sited and designed so that windows of neighboring units do not overlook private open spaces likely to be used for private activities.
- Windows should be sited to allow occupants to have “eyes on the street” for natural surveillance.
- The distance between units facing each other across a common landscaped open space should be sufficient for outdoor use and gatherings but should not compromise the privacy of individual dwelling units.



*Private open space adjacent to common open space*

### **Architectural Design**

- Varied building heights and forms shall be provided, both to provide visual interest and give the appearance of a collection of smaller structures. The development's building height shall create a transition from the heights of adjacent existing residential development, rather than form abrupt height changes.



- Special care should be used in the design of corner buildings due to their high visibility. Use building design to anchor a district, serve as landmarks and to provide a sense of enclosure for the intersection.
  - Courtyard doors or gates used at building entries should be attractively designed as an important architectural feature of the building or development.
  - Color should be used as an important design element in the development's appearance. A complementary color palette should be used within any development. Muted tones for the predominant colors of the dwelling units and accessory structures are suggested. Appropriate use of more than one predominant paint color is encouraged. Compatible accent colors are encouraged to enhance important building elements. The color of shadow patterns, relief, decorative trim, and wood frames should be distinctive yet compatible with the overall color palette.
  - Materials such as brick, stone, copper, etc. should be left in their natural colors. Such materials should not appear thin and artificial. Veneer should turn corners and avoid exposed edges.
- Veneer materials should turn corners and avoid exposed edges
- The design, selection and placement of all site furnishings, such as tables, benches, bollards, and trash receptacles should be compatible with the overall site design and architectural character of the development.
  - Downspouts, mailboxes, electrical components and other miscellaneous details shall be concealed or integrated into the building façade.
  - Areas shall be provided around parking garages, tuck-under parking and underground parking entrances for landscaping, including a few large areas to accommodate trees.

### **Open Space**



- Residents of new developments should have access to useable open space for recreation and social activities. Open spaces should be conveniently located for the majority of units.
- Open space areas should have well-defined edges, such as walkways, buildings, or landscaping.
- Boundaries between private and common open spaces should be clearly defined by elements such as low walls or plant materials.
- Private open space should be contiguous to the units it serves and should overlook the public right-of-way or common open space.
- Informal outdoor gathering areas and pedestrian nodes that can function as community gathering spaces should be created and incorporated into a project's overall site design.

These areas should relate to the development's common facilities, such as the play areas, courtyards, laundry facilities, and community buildings.

### **Paseos**

- Safe pedestrian paseo linkages should be provided between buildings and parking areas, open spaces, and adjacent neighborhoods. Paseos should be proportionate to their length and should be no less than 10' 0" wide.
- Secondary commercial building entries off of a paseo should have a projection and/or hanging identity sign that should project no more than three feet from the face of the building.

### **Streetscape**

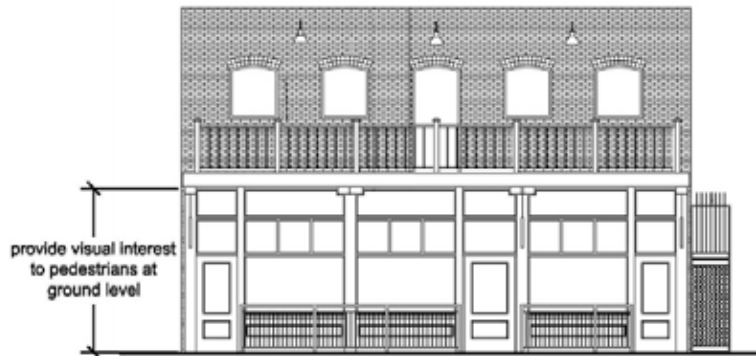
- The identity of Imperial Avenue should be reinforced by a pedestrian-oriented streetscape that shall include sidewalks, street lighting and a landscaped parkway with street trees.
  - Sidewalks should allow room for wheelchairs together with outdoor spaces for restaurants, semi-public spaces, and planter areas.
  - Cross circulation between vehicles and pedestrians should be minimized. A continuous, clearly marked walkway should be provided from the parking areas to main entrances of buildings. Walkways should be provided between residences, parking areas, and all site facilities for safe access.
  - Seating surfaces should be an appropriate height above the finished grade and should include arms or other vertical projections to accommodate persons of limited mobility. They should be located in areas that are visible to street and sidewalk activities, but do not impede pedestrian use of adjacent walks.
- 
- Seating should be designed in a way that discourages inappropriate use by skateboarders, stunt bikers, urban campers, etc.
  - Bicycle racks should be provided at community nodes such as schools, libraries, retail developments and transit stops. They should be located within public view, but should not impede pedestrian use of adjacent walks.
- 
- Waste receptacles should be provided in high traffic areas such as parks, plazas, transit stops and retail developments in conjunction with building entries and/or outdoor seating areas but should not impede pedestrian use of adjacent walks.
  - Service access and alleys should be visually minimized from Imperial Avenue and secondary streets and should not be accessed directly from these streets.

- Secondary building entries from paseos, rear parking lots, and from side street building elevations are encouraged.
- Entry drives should have an adjacent pedestrian entry path.
- Special accents that define the main entry, create territorial reinforcement and provide visual interest are strongly encouraged
- Streetscapes should incorporate art and varied textures as a design solution to discourage graffiti and add interest.

### **Commercial Frontage**

These guidelines apply to the Neighborhood Commercial use areas.

- The ground level of buildings should be developed to provide visual interest to pedestrians.
- For restaurant uses, outdoor dining areas should be incorporated in order to create visual interest within the pedestrian walkway and to stimulate pedestrian activity.



- All publicly visible facades of a building should be treated equally in terms of materials, colors, and design details. The building should have a finished appearance on all visible sides.
- Storefront design, materials and colors, at both existing and new buildings, should compliment the individual architectural character of each building.
- Awnings or canopies should be used to reduce glare on storefront glass and to shelter the pedestrian standing near the storefront. Cantilever awnings and canopies can also be used so as to keep the sidewalk as clear and unobstructed as possible. Care should be taken to preserve views down the street.
- Awnings or canopies should reflect the door and window openings or structural bays of the building façade.



### **Adjacency/Compatibility**

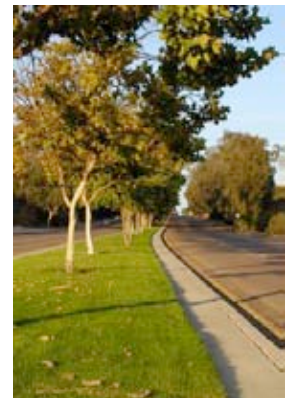
- New multi-family and mixed-use residential development should be compatible with residential development in the immediate area through the use of complementary building arrangements, buffers, step backs, and avoidance of overwhelming building scale and visual obstructions.

### **Parking**

- Parking should be convenient for residents, customers and visitors and its visual impact from neighboring properties and public rights of way should be softened or minimized.
- Parking courts should be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.
- Parking areas should be located in the development's interior and not along street frontages, wherever possible. Driveway openings along street frontages should also be minimized.
- All parking areas should provide adequate lighting at nighttime utilizing fixtures that support the scale, character and identity of the Imperial Avenue Corridor.

### **Landscaping and Hardscaping**

- Street trees should be provided in accordance with the SESD CPIOZ Street Corridor Plan (see Appendix)
- Landscaping, such as plant materials, paving, lighting, street furniture and signage should be used as a tool to unify public spaces and development.
- Parkways at residential developments should be planted with simple, drought tolerant groundcover. Planting should be of a low-growing habit that will not require hedging to control size, so a green and open effect is maintained into the future
- Deep well watering should be used on all trees planted in pavement to ensure deep root development and reduce the possibility of sidewalk heaving by roots.
- Proposed new medians should be planted in a compatible or similar manner to the enhanced existing medians.
- To highlight their distinct characters, the plant palette for parkways, plazas, parks and other public gathering spaces should vary between segments.
- Sidewalks should be of a single standard concrete mix so as to provide a uniform appearance throughout, except where designated as enhanced paving, such as crosswalks, plazas, parks, gateways, and enhanced street corners. Historic sidewalk stamps should be preserved and incorporated into new developments to the extent feasible.





- A simple, uniform score joint pattern that is coordinated with the location of tree grates, light poles, building entries and other design elements should be established to provide a cohesive appearance.
- Landscape buffers or screening elements shall be provided that separate public right-of-ways from parking lots and to help soften the visual impact of parking lot edges.
- Where appropriate, new landscaping should complement existing landscape materials, location, and massing on adjacent developments.
- Use of landscaping is encouraged to define and accent specific areas such as building and parking lot entrances and the main walkways to community facilities.
- Different landscape designs and plant materials should be used in the various courtyards and common open space areas of the development to create an individual identity for each space.
- Landscape designs that emphasize water-efficient plants are encouraged. Water-intensive landscaping, such as turf grass, should be concentrated in areas of active recreation or use.
- Vines and climbing plants on buildings, trellises, perimeter walls, and fences subject to graffiti are encouraged, both to provide an attractive appearance and to minimize graffiti.
- To prevent water damage to foundations and building facades, an “irrigation free zone” should occur at all building foundations by locating irrigation heads at least 12 inches from the face of any building. The planting root balls of spreading shrubs can be placed just outside this 12-inch zone and foliage can still spread into the irrigation free zone to soften building foundations.
- Hardscape materials should be consistent with the architectural design or style of the development. The use of interlocking pavers, scored concrete, or rough-textured concrete to define site entries is strongly encouraged. Stamped concrete or colored concrete is not recommended due to excessive maintenance and repair costs associated with its use.
- The use of dense plantings to establish a barrier adjacent to ground level multi-family dwelling units is encouraged. Where appropriate, the use of thorny plants as barrier plantings is encouraged to enhance security. Mature shrubs located adjacent to multi-family residential buildings should generally be lower than the bottom of windows to maintain open sight lines.

## **Lighting**

- Pedestrian lighting oriented for the public right-of-way and commercial properties should compliment any existing lighting fixtures found within the medians. Differing solutions for different areas of the CPIOZ are encouraged.
- Wherever possible pedestrian and vehicular lights should use the same pole to minimize sidewalk clutter.

## **Security**

- Crime Prevention Through Environmental Design (CPTED) strategies should be incorporated into the site design, whenever possible. Contact the City of San Diego Police Department, Neighborhood Policing Resource Team for more information.

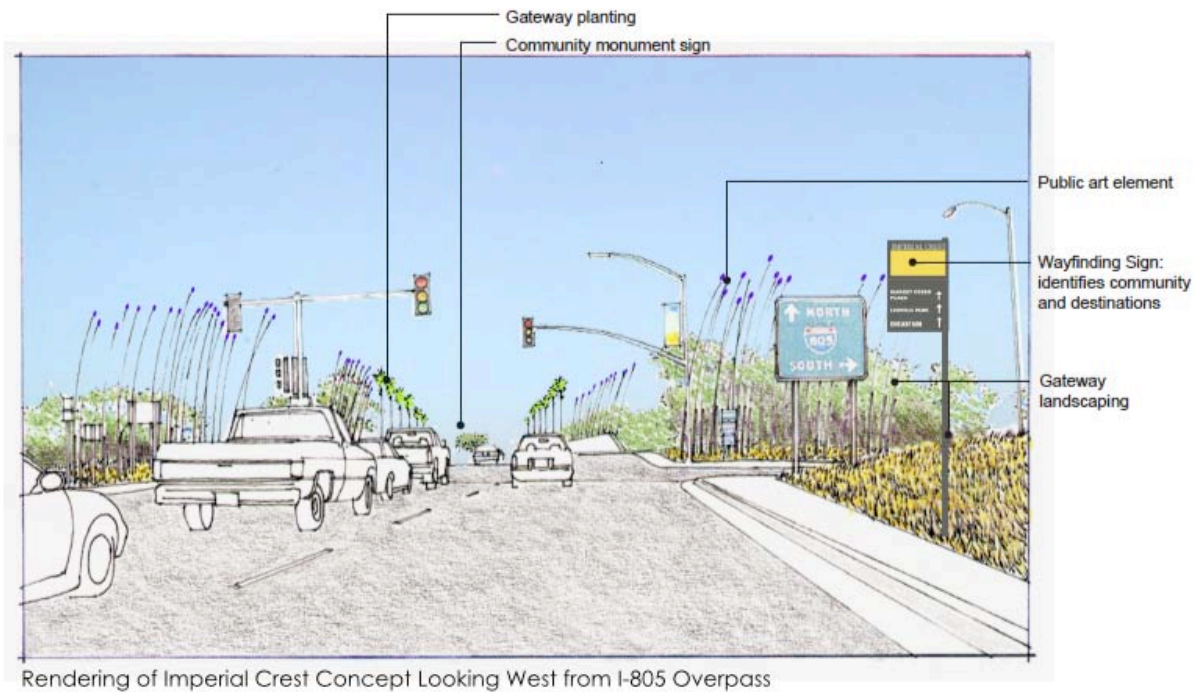
## **Walls and Fences**

- The design of walls and fences, as well as the materials used, should be consistent with the overall development's design. Fence and wall color should be compatible with the development and adjacent properties.
- Natural materials, such as brick and stone, are encouraged for front yard retaining walls. If poured-in-place concrete is used, it should be treated with a decorative pattern or an exposed aggregate finish. Penetrable fencing material, such as wrought iron, may be used in combination with retaining walls in front yards. To maintain the dwelling unit's strong visual connection with the street, retaining walls in front yards should not exceed two feet in height.
- Wall design and selection of materials should consider maintenance issues, especially graffiti removal and long-term maintenance. Concrete capstones on stucco walls are encouraged to help prevent water damage from rainfall and moisture. Graffiti coatings are available in several different product types, including sacrificial coating and non-sacrificial coating. These should be used in graffiti prone areas.
- Individual dwelling unit patio and rear yard fences and walls visible from the development's open space should be no higher than 42 inches for security reasons. Outdoor privacy walls between units, however, may be higher. To increase privacy, it is encouraged that the privacy walls be solid.

## **Signage**

- Wayfinding signage of a uniform size and graphic template should be used throughout the SESD CPIOZ to identify neighborhood institutions, landmarks and nodes, roadways, transit connections, and major roadways.
- All signage should have white or light colored type on a dark background. Type style should be in a simple and legible style, sized for optimal readability.
- Wherever possible, wayfinding, street identification and regulatory signs should be clustered onto existing poles to minimize sidewalk clutter.
- Monument signs should be prominently located at neighborhood gateways.





- Monument signs should reflect the character of the neighborhood and be coordinated with wayfinding graphics.
- Monument signs should be distinct but have common elements to identify the Imperial Avenue Corridor west of I-805, Village Center at Market and Euclid, and Hilltop area.
- Signage contributes to a development's identity as a unique environment. Professionally designed, creative signage is strongly encouraged, especially for internal directions and building identification.
- Building numbers and individual unit numbers should be readily visible, in a consistent location, well lit at night, and compatible with the overall design of a development.



*Visible building numbers help visitors to easily locate units*

- Exterior signs should be located within the base of the building with concern for the appropriateness of location, size, color, and lighting.
- Sign types should fit within the architectural details of the building they are placed on.
- Pedestrian-level display window signs applied directly to the glass should consist only of lettering without an opaque background.

- Window signs should not obscure the display area. The color of letters should contrast with the display background. Light colored letters or gold leafed letters with dark borders are effective.
- For shops and businesses along Imperial Avenue, smaller pedestrian oriented window signs are encouraged.
- Projection signs should compliment the architecture of a building in respect to colors, materials, and structure. Only one projection sign should be allowed per building.
- All projecting signs should be externally lit. External light sources should be shielded from viewers on the street to prevent glare. Flashing or moving signs are strongly discouraged.

#### *Sustainable Design*

- Sustainable design features should be incorporated into all projects. The Conservation Element of the General Plan includes policies to implement sustainable design. Examples of features that should be considered include: minimizing energy use through innovative site design and building orientation that address such factors as sun-shade patterns, prevailing winds, landscape, and sun-screens; incorporating energy efficient appliances and lighting; reusing building materials and reducing construction and demolition waste, and using cool roofing materials or vegetated eco-roofs.

#### **Imperial Avenue Corridor**

Specific design guidelines are provided for the Imperial Crest Area (I-805 to Euclid Avenue) and the Encantada Area (61<sup>st</sup> Street to Woodman Street).

#### *Imperial Crest Area*

- Primary driveways for autos should be off of streets other than Imperial Avenue or Euclid Avenue.
- Pocket parks or pedestrian paseos should be provided and should align with street corridors or other existing open space features to allow visual linkages between neighborhoods.
- Architectural forms and materials should remain simple and unobtrusive. The intent is to create simple, unembellished building forms that incorporate richer pedestrian elements found at the sidewalk level.
- Exterior building colors for development projects should exude the energy, diversity, and urban vibrancy being proposed for the area. Lincoln High School sets a design precedent for future development of institutional and community facilities. Color pallets should be carefully selected to create a high quality, attractive environment that encourages a sense of community.



### Encantada Area

- Additional median planting in new and existing medians should utilize the existing plant palette of *Platanus*. Species should be California Sycamore (*Platanus racemosa*) not London Plane Tree (*Platanus acerifolia*). Additional groundcover and shrubs should be low maintenance, drought tolerant and, to reinforce sense of traveling along a valley floor, riparian plant material such as *Ribes* and *Juncus* should also be used. Shrubs and groundcovers will be of a habit that can move in the breeze and does not need to have its size controlled by hedging.
- Median planting at the trolley station should be low maintenance, drought tolerant and distinct from other medians to accent the trolley station and adjacent plaza as a major community node and public gathering space. Shrubs and groundcovers will be allowed to grow to their natural size and shape. Size should not be controlled through severe pruning or hedging.
- Plant palette at plazas and parks should include a variety of low maintenance and low water plant materials with seasonal flowers and/or foliage color. To emphasize the more informal, town and country character of Encantada, plant palette should be naturalistic and include native species. Hedging and other formal landscape devices are inappropriate. Outdoor space definition, boundary articulation and landscape buffers should be achieved by naturalistic mass planting wherever possible.
- Pedestrian scaled lighting along the south side of Imperial Avenue, Trolley Plaza, Encantada Core and parks should compliment the existing lighting fixtures found within the existing medians. Pedestrian light poles could have banner arms to advertise community special events.
- Architectural forms and materials should remain simple and unobtrusive.
- Exterior building colors for the Encantada Area and surrounding corridor should be chosen to respond to the natural setting and historic background of the Encantada Area. The vision for the Encantada Area should be more subdued. The natural setting of the canyon edges shall also influence building colors and materials.